

Inspection Report

Sample Report

Property Address:

Your Address

MN



Closer Look Home Inspectors, L.L.C.

Lisa Marie

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General Info

Property Address

Your Address
MN

Date of Inspection

3/15/2021

Report ID

sample

Customer(s)

Sample Report

Time of Inspection

08:30 AM

Real Estate Agent

Isaias Nunez
National Realty Guild

Inspection Details

Standards of Practice:

InterNACHI International Association of
Certified Home Inspectors

Type of building::

Single Family

Attending the Inspection::

Buyer

Approximate Age:

10 to 19 years old

Occupancy::

The home was occupied

Dog present::

No Dog Present, No Cat Present

Weather during the Inspection::

Cloudy, Heavy Snow Fall

Ground/Soil surface condition:

Snow 4-8 inches

Temperature during inspection::

Below 65 (F) = 18 (C)

Water Quality Test::

No - We do not perform water testing

Radon Test:

No - At this time we do not perform radon
testing

Mold Test:

No

Thermostat Setting on Arrival:

ON - Furnace

Thermostat Temperature on Arrival:

71

Thermostat Location:

Upstairs, Hallway

Furnace/Boiler Setting on Departure:

Returned to default settings, YES

Sewer Scope:

NO - We Do Not Perform Sewer or Plumbing
Camera Scope

Home free of chipping or peeling paint:

Yes

Odor Present at Time of Inspection:

No

Chemical / Meth Residue Testing:

No - Our Company Does Not Provide This
Service

Comment Key & Definitions

Comment Key or Definitions

PLEASE READ THIS AGREEMENT CAREFULLY. THIS IS A LEGALLY BINDING CONTRACT BETWEEN CLOSER LOOK HOME INSPECTORS, LLC. AND THE ABOVE STATED CLIENT(S).

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any marginal, unsatisfactory components, or recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Satisfactory (S) = Components are satisfactorily performing its intended function. I visually observed these item(s), component (s) or unit(s) and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear. Item is typical for age.

Marginal (M) = Attention should be given. These item(s), component(s) or unit(s) need routine maintenance that is important for every home's upkeep. Continuing to check up on the exterior, appliances, heating and cooling, plumbing, security, and electrical systems will help reduce breakdowns, save money, and keep your home looking and performing in its best condition. A qualified contractor should further evaluate and correct any and all conditions needed. These item(s), component(s) or unit(s) may lead to further costly problems if not corrected.

UNSATISFACTORY (UN) = Item is not adequately performing its intended function and/or has an UNSAFE Condition. These item(s), component(s) or unit(s) are not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement. You should obtain a cost estimate for correction(s) before the end of your inspection deadline.

General Maintenance Item (GM) All home require maintenance. These item(s), component(s) or unit(s) may lead to further costly problems if not corrected. You may wish to obtain cost estimate(s) for correction(s), repair(s) or further evaluation as needed by a qualified professional. Determining the exact cause or future condition goes beyond the scope of a home inspection.

Not Applicable (NA) = These item(s), component(s) or unit(s) are not in this home or building.

Not Visible (NV) = Item was not located or was not visible for inspection. A qualified professional or contractor should further evaluate this finding.

A home inspection is a non-invasive, visual examination of the accessible areas of a residential property (as delineated below), performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector before the inspection process. An inspection is not technically exhaustive and does not imply that every defect was found. Latent, concealed, or inaccessible defects and problems are excluded from this inspection. Floor coverings, furniture, and larger and/or fragile personal belongings are not disturbed during the inspection. The equipment and appliances included in this inspection are tested for response to normal controls only, when possible. The equipment and appliances included in this inspection are not dismantled, other than normal service panels which can be freely and easily removed.

The home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions. The home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

A material defect is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect.

A home inspection report shall identify, in written format, defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. Inspection reports may include additional comments and recommendations.

Work performed without the required building inspections designed to ensure compliance with applicable safety codes may contain hidden defects and significant safety hazards. Locating hidden defects may require invasive techniques. The application of invasive techniques exceeds the scope of the General Home Inspection. You should ask the seller for documentation showing that work on or in the home was performed with the proper permits and building inspections.

This is not an FHA inspection, however, the inspector will try to make comments on common FHA standards. These standards can often change. An FHA inspector will note any deficiencies in the property that don't meet their minimum standards. Once the flaws or defects are fixed, the FHA loan can go forward. Under contingency clauses in real estate, the seller can make the repairs to bring the property up to standards. Although they're not obligated to, the FHA loan won't go through without the property passing the FHA inspection. I am not able to determine if the future buyer will be an FHA buyer.

This Home Inspection does not address the possible presence of radon gas in the home or the water, lead paint, asbestos, toxic or flammable chemicals, mold or mildew, or other harmful or environmentally unsafe substances. The possible presence of such items should be identified by a specialist in the detection of these substances. An inspection of private waste disposal systems (such as septic systems) are not included in this Home Inspection. Also, this report does not include an inspection for wood-destroying insects and/or pests. Specialists in these fields should be contacted if these Inspections are desired.

The Client agrees that, should Closer Look Home Inspectors, LLC. be found liable for any loss or damages resulting from failure to perform any of the company's obligations, including but not limited to negligence, breach of contract, or any other legal theory or cause of action, the liability of the Closer Look Home Inspectors, LLC. shall be limited solely and exclusively to the fee paid for The Inspection.

The client agrees that the fee payable to Closer Look Home Inspectors, LLC. for this Inspection is based strictly upon the value of time involved in conducting The Inspection and preparing the Report. The fee is unrelated to the costs of repairing or correcting any defects in the residence. The Client agrees that the fee is to be paid by the agreed time to Closer Look Home Inspectors, LLC. whether or not the subject property is purchased by The Client. Closer Look Home Inspectors, LLC. assumes no liability for the cost of repairing, or replacing any reported or unreported defect or deficiency in the residence, either current or arising in the future, or for any property damage, consequential damage, or bodily injury of any nature. The Inspection and Report are conducted and prepared for the sole, confidential and exclusive use of The Client. The Inspector assumes no liability to third parties in connection with this Inspection and written report.

THE INSPECTION AND REPORT ARE NOT INTENDED, OR TO BE USED, AS A GUARANTEE, WARRANTY, EXPRESSED OR IMPLIED, OR ANY INSURANCE POLICY, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITIONS OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT OR SYSTEM AND SHOULD NOT BE RELIED UPON AS SUCH. THE INSPECTION AND REPORT ARE ALSO NOT CERTIFICATIONS, NOR IMPLIED WARRANTIES OF HABITABILITY, MERCHANTABILITY OR FITNESS FOR USE OF ANY KIND.

Areas of the home were blocked by sellers personal belongings. Moving belongings goes beyond the scope of a home inspection. I recommend asking seller to move belonging and further inspect as needed by a qualified person. We can return for an additional fee to re-inspect areas of the home that were restricted at time of inspection.

Homes more than 10 years old may have areas that are not current in code requirements. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult in a lived in home. Sometimes homes have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

1. Roof

The inspector shall inspect from ground level or the eaves:

- the roof-covering materials;
- the gutters;
- the downspouts;
- the vents, flashing, skylights, chimney, and other roof penetrations; and
- the general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to:

- walk on any roof surface.
- predict the service life expectancy.
- inspect underground downspout diverter drainage pipes.
- remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces.
- move insulation.
- inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments.
- walk on any roof areas that appear, in the inspector's opinion, to be unsafe.
- walk on any roof areas if doing so might, in the inspector's opinion, cause damage.
- perform a water test.
- warrant or certify the roof.
- confirm proper fastening or installation of any roof-covering material.

Inspector recommends further evaluation by a qualified roofing contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Roof Covering:

Asphalt Shingle

Drainage System:

Gutters and downspouts installed

Viewed Roof From:

From the ground (binoculars)
Restrictions - Snow

Roof Covering Age:

Recommend confirming age of roof or obtaining paperwork from seller

Items

1.0 Asphalt Composition Shingle

Comments: General Maintenance Item

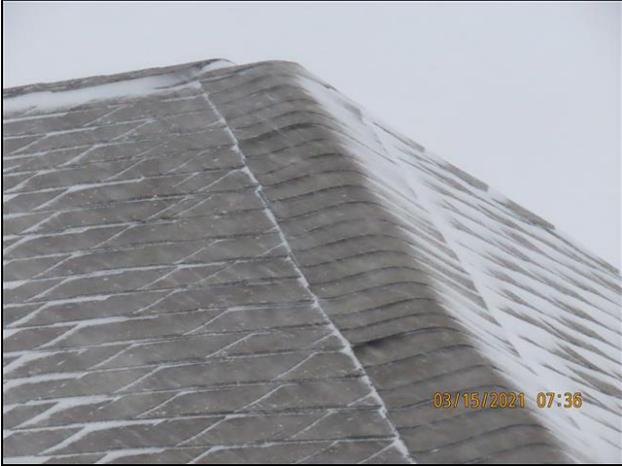
(1) Many different types, brands and models of asphalt composition shingles have been installed over the years, each with specific manufacturer's installation requirements that may or may not apply to similar-looking shingles made by other manufacturers. In addition, most shingles have underlayment requirements that cannot be visually confirmed once the shingles have been installed, and fasteners that cannot be inspected without breaking the bonds of adhesive strips that are the most important component in shingle resistance to wind damage. For this reason, the Inspector disclaims responsibility for accurate confirmation of proper asphalt shingle installation.

The Inspector's comments will be based on- and limited to- installation requirements common to many shingle types, brands and models, and other deficiencies that develop with time, exposure to weather and circumstances. Accurate confirmation of a particular shingle roof installation, which requires research that exceeds the scope of the General Home Inspection, will require the services of a qualified roofing contractor.

- Determining remaining lifespan of shingles goes beyond the scope of a home inspection. You may wish to ask seller about age of roof or have a qualified roofing contractor provide remaining life span of roof.
- Recommend confirming age of roof with seller or if any repairs or insurance claim(s) have been made in the past.

(2) At time of inspection, most if not all of the shingles at roof were covered with snow. Removing snow from roof goes beyond the scope of an inspection. Recommend further evaluation once snow covering has melted. Inspector disclaims knowledge of the shingles condition.

- Inspector observed what appeared to be to lifted shingles at the rear of home. Inspector recommends further evaluation once snow melts. This is indication maintenance or repairs may be needed in areas.
- Ensuring shingles are in proper condition will reduce chance of future moisture.



1.0 Item 1(Picture)

1.1 Roof Structure Exterior

Comments: Not Visible

Not visible, snow restrictions, recommend further evaluation once snow melts.

1.2 Roof Flashing

Comments: Not Visible

Not visible, snow restrictions, recommend further evaluation once snow melts.

1.3 Roof Drainage System

Comments: Not Visible

Not fully visible, snow restrictions, recommend further evaluation once snow melts.

1.4 Exhaust & Combustion Vents

Comments: Not Visible

Not visible, snow restrictions, recommend further evaluation once snow melts.

The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection performed by a qualified roofing contractor. Because of variations in installation requirements of the huge number of different roof-covering materials installed over the years, the General Home Inspection does not include confirmation of proper installation. Home Inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

2. Exterior

The inspector shall inspect:

- the exterior wall-covering materials;
- the eaves, soffits and fascia;
- a representative number of windows;
- all exterior doors;
- flashing and trim;
- adjacent walkways and driveways;
- stairs, steps, stoops, stairways and ramps;
- porches, patios, decks, balconies and carports;
- railings, guards and handrails; and
- vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

The inspector is not required to:

- inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting.
- inspect items that are not visible or readily accessible from the ground, including window and door flashing.
- inspect or identify geological, geotechnical, hydrological or soil conditions.
- inspect recreational facilities or playground equipment.
- inspect seawalls, break walls or docks.
- inspect erosion-control or earth-stabilization measures.
- inspect for safety-type glass.
- inspect underground utilities.
- inspect underground items.
- inspect sprinkler system
- inspect wells or springs.
- inspect solar, wind or geothermal systems.
- inspect swimming pools or spas.
- inspect wastewater treatment systems, septic systems or cesspools.
- inspect irrigation or sprinkler systems.
- inspect drainfields or dry wells.
- determine the integrity of multiple-pane window glazing or thermal window seals.

Inspector recommends further evaluation by a qualified roofing contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Wall Covering:

Metal

Window Material::

Vinyl

Exterior Doors:

Metal

Walkway Materials:

Concrete

Driveway Material:

Snow Restrictions - Not Visible, Not

Appurtenance:

Attached Garage

Mostly Not Visible - Snow Restrictions, not Inspected

inspected

Items

2.0 Exterior Siding

Comments: Satisfactory

2.3 Exterior Trim, Soffits, and Fascia

Comments: Satisfactory

You should be aware that windows, door openings, and trim be re-sealed with a high-quality sealant every 3 to 5 years to prevent moisture intrusion. This is a general maintenance item.

2.4 Deck and/or Stairs

Comments: Not Visible

Due to height limitations or barrier installation, the Inspector was unable to view the means of attaching the stairs to the home (rear of home) and disclaims responsibility for its inspection.

- Snow restrictions.

2.5 Window Exteriors

Comments: Satisfactory

A representative number of windows were inspected and were in normal working order.

2.6 Driveway

Comments: Not Visible

Ice/snow covered nearly all of the driveway. If common cracks (1/4-inch or less) are visible in the driveway once snow melts, they should be filled with an appropriate sealant as needed.

2.7 Walkways

Comments: Satisfactory

Ice/snow covered nearly all of the walkways. If common cracks (1/4-inch or less) are visible in the walkways once snow melts, they should be filled with an appropriate sealant as needed.

2.8 General Grounds

Comments: Not Visible

The ground should slope away from the home a minimum of 1/4-inch per foot for a distance of at least six feet from the foundation.

- Snow restrictions, not able to determine if negative slope exists. Monitor for pooling water during heavy rain fall.

2.9 Door Exteriors

Comments: Satisfactory

You should consider replacement or re-keying of locks for added security as desired.

- Replacement of weather stripping may be needed over time. This is a general maintenance item.

2.10 Exterior Wall Penetrations

Comments: Satisfactory

3. Garage

The inspector shall inspect:

- garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector is not required to:

- inspect or operate equipment housed in the garage, except as otherwise noted.
- verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.

Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Garage Door Type:

Two Automatic

Vehicle Door Automatic Reverse::

Installed and operating correctly

Items

3.0 Vehicle Doors

Comments: Satisfactory

Garage doors are not tested by the Inspector using specialized equipment and this inspection will not confirm compliance with manufacturer's specifications. This inspection is performed according to the Inspector's judgment from past experience. You should adjust your expectations accordingly. If you wish to ensure that the garage door automatic-reverse feature complies with the manufacturer's specifications, you should have it inspected by a qualified garage door contractor.

3.1 Structural - Interior & Exterior

Comments: Satisfactory

Areas of the garage were blocked by sellers personal belongings. Inspector did not move or inspect behind objects. We can return for an additional fee to re-inspect areas of the home that were restricted at time of inspection. Comments are based on visual areas only.

3.2 Interior Surfaces - Walls & Ceiling

Comments: Satisfactory

Inspector observed small localized areas of what appeared to be moisture stains. These areas were dry at time of inspection. Recommend monitoring, if moisture exists in the future further evaluation would be needed by a qualified contractor.

- Small amount of moisture under garage window
- Past moisture stain(s) near conventional door, leading to exterior of home.



3.2 Item 1(Picture)

3.3 Conventional Doors

Comments: Not Visible

Conventional garage doors were not opened/closed or fully inspected due to personal belongings. Moving personal belongings goes beyond the scope of a home inspection.

3.4 Floors

Comments: Satisfactory

3.5 Fire Separation

Comments: Satisfactory

3.6 Stairs/Steps to Living Space

Comments: Satisfactory

Garage doors should have the following warning labels:

- A spring warning label attached to the spring assembly
- A general warning label attached to the back of the door panel
- A warning label near the wall control button

Two warning labels attached to the door in the vicinity of the bottom of the bottom corner brackets. Some newer doors have tamper-resistance bottom corner brackets do not require these warnings.

4. Interior

The inspector shall inspect:

- a representative number of doors and windows by opening and closing them;
- floors, walls and ceilings;
- stairs, steps, landings, stairways and ramps;
- railings, guards and handrails; and

The inspector is not required to:

- inspect paint, wallpaper, window treatments or finish treatments.
- inspect floor coverings or carpeting.
- inspect central vacuum systems.
- inspect for safety glazing.
- inspect security systems or components.
- evaluate the fastening of islands, counter-tops, cabinets, sink tops or fixtures.
- move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
- move suspended-ceiling tiles.
- inspect or move any household appliances.
- operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
- operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
- inspect microwave ovens or test leakage from microwave ovens.
- operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
- inspect elevators.
- inspect remote controls.
- inspect appliances.
- inspect items not permanently installed.
- discover firewall compromises.
- inspect pools, spas or fountains.
- determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
- determine the structural integrity or leakage of pools or spas.

Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Ceiling and Wall Materials:

Gypsum

Interior Doors::

Wood Hollow Core

Floor Covering Materials::

Carpet
 Sheet Vinyl
 Modern Wood (lamine or vinyl) - You may wish to confirm type with seller

Radon::

Not Tested

Smoke/CO Detectors::

Smoke detectors installed

Windows Free of Peeling Paint:

Yes

Windows Free of Moisture/Deterioration:

Yes

Window Glazing::

Double-pane

Items

4.0 Smoke Detectors

Comments: Satisfactory

Be sure to check smoke alarms for proper function after moving in. You should check the detector indicator lights occasionally to be sure that each detector has power.

4.1 Carbon Monoxide Detectors

Comments: Satisfactory

Be sure to check carbon monoxide alarms for proper function after moving in.

4.2 Floors

Comments: Satisfactory

Floors at the interior of the home exhibited general weathering commensurate with its age.

4.3 Walls & Ceilings

Comments: Satisfactory

4.5 Doors

Comments: Satisfactory

4.6 Interior Trim

Comments: Satisfactory

4.7 Windows

Comments: Satisfactory

5. Structural Components

The inspector shall inspect:

- the foundation;
- the basement;
- the crawlspace; and
- structural components.

The inspector is not required to:

- enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself.
 - move stored items or debris.
 - operate sump pumps with inaccessible floats.
 - identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems.
 - provide any engineering or architectural service.
 - report on the adequacy of any structural system or component.
- Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Foundation Configuration::

Finished basement

Foundation Method/Materials::

Concrete Masonry Unit (CMU) foundation walls

Ceiling Structure:

Wood

Floor Structure:

Concrete

Columns or Piers:

Supporting Walls

Egress Windows:

Yes

Items

5.0 Exterior Wall Construction

Comments: Satisfactory, Not Visible

Due to snow restrictions, areas of the exterior foundation wall were not visible. Small cracks 1/8 inch or less should be properly sealed to reduce chance of future freeze cracking. If cracks exceed 1/8 inch further evaluation is recommended by a qualified contractor.

5.1 Floor Structure

Comments: Satisfactory

5.2 Foundation

Comments: Satisfactory

The General Home Inspection does not include evaluation of structural components hidden behind floor, wall, or ceiling coverings, but is visual and non-invasive only.

5.3 General Structure

Comments: Satisfactory

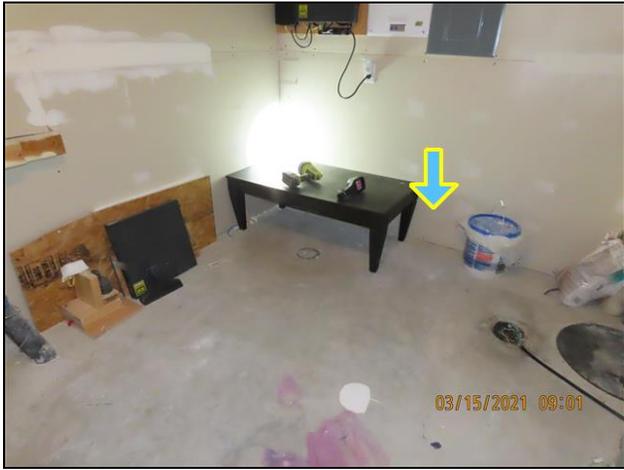
Because the General Home Inspection is a visual inspection, inspection of the basement concrete floor slab, walls and floor structure is limited by the fact that most of these components were hidden beneath floor covering materials or behind finished walls. The Inspectors comments are limited to only those portions of foundation that could be viewed directly.

5.4 Basement

Comments: Satisfactory

Inspector observed what appeared to be a moisture stain at the basement utility room in localized area. Determining past or intermittent moisture goes beyond the scope of a home inspection. You may wish to ask seller about this finding, monitored during heavy rainfall, or have a qualified contractor further evaluate as needed.

- This area was dry at time of inspection.



5.4 Item 1(Picture)

Cracking related to soil/foundation movement indicates the potential for present or future. Determining future cracking or movement goes beyond the scope of an inspection. A qualified contractor should further evaluate any cracks or concerns.

Much of the home structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Identification of portions of the wall structure not directly visible requires logical assumptions on the part of the Inspector that are based on the Inspectors past experience and knowledge of common building practices.

Upon observing indications that structural problems may exist that are not readily visible, or the evaluation of which lies beyond the Inspector's expertise, the inspector may recommend evaluation or testing by a specialist that may include invasive measures, which would require homeowner permission.

Work done without a building permit and and the accompanying inspections of structural, plumbing, electrical, and general safety conditions may contain hazardous defects that are not readily visible. You should ask the seller for documentation showing that work in the basement was approved by local building inspectors.

Inspection of the home interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection for an additional fee.

Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies.

6. Plumbing System

The inspector shall inspect:

- the main water supply shut-off valve;
- the main fuel supply shut-off valve;
- the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
- interior water supply, including all fixtures and faucets, by running the water;
- all toilets for proper operation by flushing;
- all sinks, tubs and showers for functional drainage;
- the drain, waste and vent system; and
- drainage sump pumps with accessible floats.

The inspector is not required to:

- light or ignite pilot flames.
- measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
- inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
- determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
- determine the water quality, potability or reliability of the water supply or source.
- open sealed plumbing access panels.
- inspect clothes washing machines or their connections.
- operate any valve.
- test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection.
- evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
- determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
- determine whether there are sufficient clean-outs for effective cleaning of drains.
 - **Non-permitted plumbing may contain hidden defects. You should ask the seller for documentation showing that plumbing was installed with the necessary permits and inspections.**
- inspect wastewater treatment systems.
- inspect water treatment systems or water filters.
- inspect water storage tanks, pressure pumps, or bladder tanks.
- evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
- evaluate or determine the adequacy of combustion air.
- test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
- examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
- determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
- inspect or test for gas or fuel leaks, or indications thereof.

Inspector recommends further evaluation by a qualified professional or plumber to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.



main water shut off

Styles & Materials

Water Supply Source::

Public Water Supply

Main Water Supply Pipe::

PEX

Water Distribution Pipes::

Cross-linked Polyethylene (PEX)

Sewage System Type::

Public

Drain Waste and Vent Pipe Materials::

Polyvinyl Chloride (PVC)

Water Heater Fuel Type:

Electric

Water Heater Manufacturer:

A O Smith

Water Heater Tank Capacity:

50 gallons

Sump Pump::

An operable sump pump was installed

Type of Gas::

Natural Gas

Gas Pipe Material::

Black Steel

Water Treatment Systems/Filters::

Water Softener (not inspected)

Functional Flow:

One or more location(s) did not appear to have adequate pressure - Further Evaluation Needed by a qualified plumber

Functional Drainage::

Not all plumbing fixtures had functional drainage - Further evaluation needed
Basement
Bathroom Sink

Gas Shut off Valve Located & Has Label:

Recommend a qualified person properly tag/label

Water Shut off Valve Located & Has Label:

Recommend a qualified person properly tag/label

Items

6.1 Source of Water

Comments: Satisfactory

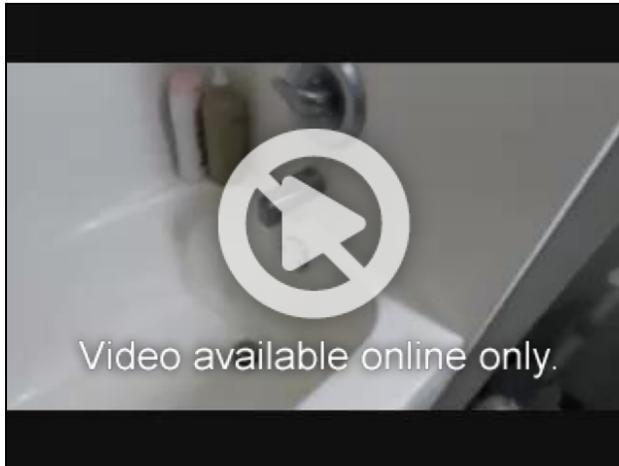
6.2 Water Supply, Distribution

Comments: Marginal

Inspector observed what appeared to be low water pressure when multiple water sources were used simultaneously.

- When the upstairs master bathroom jet tub water source was turned ON.

Determining exact cause goes beyond the scope of a home inspection. You may wish to have a qualified plumber further evaluate as desired.



6.2 Item 1(Video) upstairs hallway bathroom bathtub



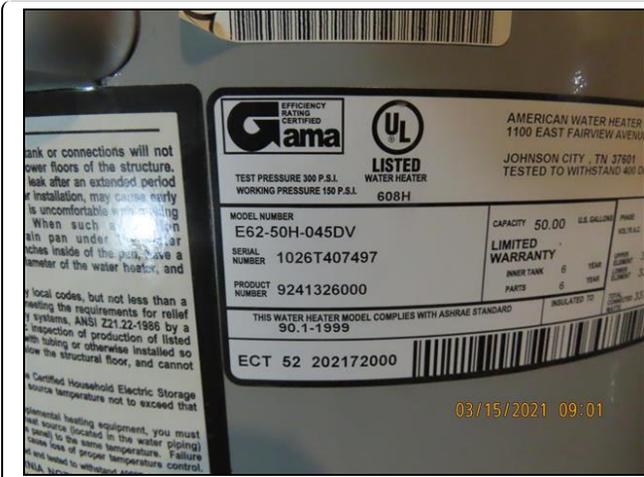
6.2 Item 2(Picture) upstairs master bathroom sink - low water pressure when master bathroom jet tub water source was turned ON.

6.3 Water Heater

Comments: Unsatisfactory

(1) The EPA (Environmental Protection Agency) recommends setting your water heater at 120 degrees to prevent burns.

- Current water temp 110F - increase to 120F or as needed
- Water heater Manufacture date appears to be 2010: <https://www.building-center.org/a-o-smith-water-heater-age/>
- Water heaters can be expected to last as long as the listed warranty.



6.3 Item 1(Picture)

(2) The temperature/pressure relief (TPR) valve had no discharge pipe installed. If the valve were to activate while a person was nearby, injury could occur. The Inspector recommends that a properly-configured TPR discharge pipe be installed by a qualified plumbing contractor. The TPR VALVE SHOULD NOT BE TESTED UNTIL A PROPER DISCHARGE PIPE HAS BEEN INSTALLED.



6.3 Item 2(Picture)

(3) Although this water heater was installed in a location in which leakage of the tank or plumbing connections would cause damage, no drip pan was installed. A proper drip pan should be installed by a qualified plumbing contractor to prevent possible water damage.

- It may not be cost effective to install this component until the water heater is replaced.

6.4 Sump Pump

Comments: Satisfactory

The home had a sump pump installed in a pit in the basement floor. Sump pumps are installed to prevent rising groundwater from entering the home. Sump pumps should be tested on an annual basis to ensure that they are in working order. Pumps have a filter that should be cleaned during routine maintenance. The inspector recommends that the sump pump be serviced annually to ensure that it is operable when it is needed.

- The sump pump was tested under normal operation at time of inspection.

6.5 Water Treatment Systems

Comments: Not Visible

(1) We do not inspect water treatment systems or water softeners.

(2)

- Item 1(Picture) serial number



6.5 Item 1(Picture)

6.7 Sewage and DWV Systems

Comments: Not Visible

(1) **This system was not inspected and inspector disclaims knowledge. You should ask your insurance agent for costs to ensure the sewer line. You may wish to have it scoped to ensure its condition before the end of your inspection deadline.**

(2) The main waste supply pipe appeared to be located at the basement wall, behind access cover.

- The PVC cap appeared to be sealed shut with foam insulation. Inspector recommends ensuring the cap is accessible as needed. This is a general maintenance item. Replacement caps can be purchased for under \$10 if needed.



6.7 Item 1(Picture)

6.16 Radon Mitigation System

Comments: Not Applicable

The home is located in an area known to produce radon. This home had no radon mitigation system installed. Radon is an odorless invisible radioactive gas which the EPA calls the second-leading cause of lung cancer in the U.S. The general area in which this home is located is known have potentially high levels of radon, although radon is very site-specific. Consider having a radon test performed to gain an understanding of average radon levels in the home. Measurement should be performed by qualified personnel familiar with radon testing protocols for real estate transactions.

A plumbing permit is generally required for replacing water heaters and underground piping, alter piping inside a wall or ceiling, or beneath a floor, and for plumbing in all new installations. Emergency repair, alteration, or replacement of freeze-damaged or leaking concealed piping, if new piping exceeds 5 feet.

7. Electrical System

The inspector shall inspect:

- the service drop;
- the overhead service conductors and attachment point;
- the service head, goose neck and drip loops;
- the service mast, service conduit and raceway;
- the electric meter and base;
- service-entrance conductors;
- the main service disconnect;
- panel boards and over-current protection devices (circuit breakers and fuses);
- service grounding and bonding;
- a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
- all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
- for the presence of smoke and carbon-monoxide detectors.

The inspector is not required to:

- insert any tool, probe or device into the main panel board, sub-panels, distribution panel boards, or electrical fixtures.
- operate electrical systems that are shut down.
- remove panel board cabinet covers or dead fronts.
- operate or re-set over-current protection devices or overload devices.
- operate or test smoke or carbon-monoxide detectors or alarms.
- inspect, operate or test any security, fire or alarm systems or components, or other warning or signaling systems.
- measure or determine the amperage or voltage of the main service equipment, if not visibly labeled.
- inspect ancillary wiring or remote-control devices.
- activate any electrical systems or branch circuits that are not energized.
- inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any time-controlled devices.
- verify the service ground.
- inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photo voltaic solar collectors, or battery or electrical storage facility.
- inspect spark or lightning arrestors.
- inspect or test de-icing equipment.
- conduct voltage-drop calculations.
- determine the accuracy of labeling.
- inspect exterior lighting.

What is the difference between GFCI and AFCI?

- The AFCI (Arc Fault Circuit Interrupter) protects against fires caused by arcing faults. ... The GFCI (Ground Fault Circuit Interrupter) is designed to protect people from severe or fatal electric shocks. A ground fault is an unintentional electric path diverting current to ground.

Inspector recommends further evaluation by a qualified professional or electrician to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.



garage distribution panel

Styles & Materials

Electrical Service Conductors::

Underground service

Ground Fault Circuit Interruptor (GFCI)

Protection::

Yes - Appears to have GFCI

Arc Fault Circuit Interruptor (AFCI)

Protection::

Yes - Appears to have AFCI

Service Panel Ampacity::

Appears adequate for this home

Wiring Methods::

Romex

Service Panel Manufacturer::

Square D

Service Disconnect Type::

Circuit Breakers

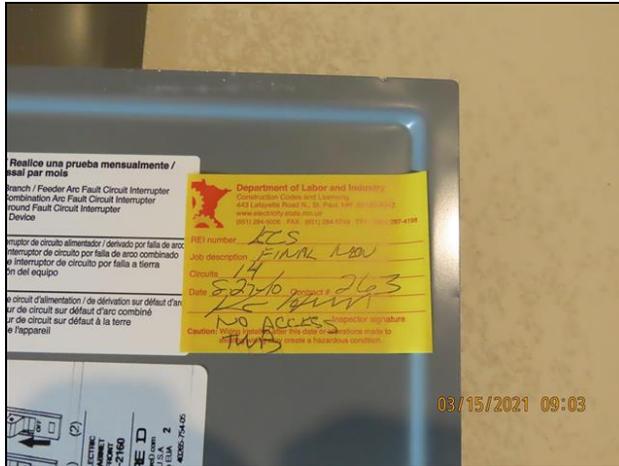
Items

7.0 General Electrical System Condition

Comments: Satisfactory

- Item 1(Picture) appears to have been last inspected in 2010. The home contained an electrical system which was last inspected more then 10 years ago.
- No visible evidence of fire damage or scorching visible.

Because of the potential for hidden defects and the specialized knowledge needed to adequately inspect electrical systems, you may wish to have a comprehensive inspection of the entire electrical system by a qualified electrical contractor.



7.0 Item 1(Picture)

7.1 Visible Branch Wiring

Comments: Satisfactory

7.2 Service Panel Cabinet and Cover

Comments: Satisfactory

7.3 Conventional Electrical Receptacles

Comments: Satisfactory

7.4 Lighting

Comments: Satisfactory

7.5 Switches

Comments: Satisfactory

Switches are sometimes connected to fixtures that require specialized conditions, such as darkness or movement, to respond. Home wall switches sometimes are connected to outlets (sometimes only the top or bottom half of an outlet). Because outlets are often inaccessible and because including the checking of both halves of every electrical outlet in the home exceed the Standards of Practice and are not included in a typical General Home Inspection price structure, and functionality of all switches in the home may not be confirmed by the inspector.

7.29 Low Voltage Components

Comments: Not Visible

- Item 1(Picture) You may wish to ask seller about low-voltage/data communications systems. Inspector is not able to determine if these components will be sold with the house or taken with the seller.
- Item 2(Picture) you may wish to ask seller if the audio system will be sold with the home or taken with the seller.



7.29 Item 1(Picture)



7.29 Item 2(Picture)

Over the years, many different types and brands of electrical components have been installed in homes. Electrical components and standards have changed and continue to change. Homes electrical systems are not required to be updated to meet newly enacted electrical codes or standards. Full and accurate inspection of electrical systems requires contractor-level experience. For this reason, full inspection of home electrical systems lies beyond the scope of the General Home Inspection.

The General Home Inspection is limited to identifying common electrical requirements and deficiencies. Conditions indicating the need for a more comprehensive inspection will be referred to a qualified electrical contractor.

8. Heating & Air Conditioning

The inspector shall inspect:

- the heating system, using normal operating controls.
- the cooling system, using normal operating controls.

Heating System: The inspector is not required to:

- inspect, measure, or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, makeup air, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.
- inspect fuel tanks or underground or concealed fuel supply systems.
- determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.
- light or ignite pilot flames.
- activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.
- override electronic thermostats.
- evaluate fuel quality.
- verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.
- measure or calculate the air for combustion, ventilation, or dilution of flue gases for appliances.

Cooling System: The inspector shall report as in need of correction:

- any cooling system that did not operate; and
- if the cooling system was deemed inaccessible.

The inspector is not required to:

- determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.
- inspect portable window units, through-wall units, or electronic air filters.
- operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment.
- inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.
- examine electrical current, coolant fluids or gases, or coolant leakage.

- **The inspector shall inspect: (if applicable)**

- readily accessible and visible portions of the fireplaces and chimneys;
- lintels above the fireplace openings;
- damper doors by opening and closing them, if readily accessible and manually operable; and
- clean out doors and frames.

- **The inspector is not required to:**

- inspect the flue or vent system.
- inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.
- determine the need for a chimney sweep.
- operate gas fireplace inserts.
- light pilot flames.
- determine the appropriateness of any installation.
- inspect automatic fuel-fed devices.
- inspect combustion and/or make-up air devices.
- inspect heat-distribution assists, whether gravity-controlled or fan-assisted.
- ignite or extinguish fires.
- determine the adequacy of drafts or draft characteristics.
- move fireplace inserts, stoves or firebox contents.
- perform a smoke test.
- dismantle or remove any component.
- perform a National Fire Protection Association (NFPA)-style inspection.
- perform a Phase I fireplace and chimney inspection.

- Inspector recommends further evaluation by a qualified professional or HVAC technician to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Heating system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. For example: identification of cracked heat exchangers requires a contractor evaluation. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor. The general home inspection does not include any type of heating system warranty or guaranty. Inspection of heating systems is limited to basic evaluation based on visual examination and operation using normal controls. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will be referred to a qualified heating, ventilating, and air-conditioning (HVAC) contractor. Inspection of heating systems typically includes (limited) operation and visual inspection of: the heating appliance (confirmation of adequate response to the call for heat); proper heating appliance location; proper or adequate heating system configuration; exterior cabinet condition; fuel supply configuration and condition; combustion exhaust venting; heat distribution components; proper condensation discharge; and temperature/pressure relief valve and discharge pipe (presence, condition, and configuration).



main gas supply
Styles & Materials

Energy Source::

Gas

Heating System Type::

Gas-fired Furnace (high efficiency)

Heating System Brand::

Goodman

Air Filter::

Disposable

Heating/Cooling Ducts or Supporting Components:

Not insulated

Filter Size::

Adequate

Types of Fireplaces:

Vented Gas Logs

Cooling System Type::

Air Conditioner Unit

Cooling Equipment Energy Source::

Electricity

Cooling System Manufacturer::

Goodman

Items

8.0 Furnace

Comments: Satisfactory

(1) The Inspector specifically disclaims furnace heat exchangers because proper evaluation requires invasive, technically exhaustive measures that exceed the scope of the General Home Inspection. The Inspector recommends that you have it certified/maintained by a qualified HVAC contractor to ensure the furnace remains in its best working order.

Inspector recommends having a qualified HVAC technician clean furnace and supporting duct work to increase life span of furnace and promote healthy living conditions every 2-3 years or as needed.. General cost is \$300-\$500 and is considered general maintenance.

- Manufacture date appears to be 2010.
- Determining remaining life span goes beyond the scope of a home inspection.
- The furnace appeared to be working under normal operation at time of inspection (using thermostat)
- You may wish to consider purchasing a home warranty or obtaining information about long term service plans to ensure the furnace remains in its best working order. Long-term service plans are available through local energy companies. Recommend asking your realtor about options as desired.
- All gas appliances should be maintained annually or as needed.



8.0 Item 1(Picture)

(2) Inspector observed what appeared to be past moisture at or near the furnace. These areas were dry at time of inspection. You may wish to ask seller about this finding. Determining past or intermittent moisture goes beyond the scope of a home inspection.



8.0 Item 2(Picture)



8.0 Item 3(Picture)

8.1 Fuel, Piping and Support

Comments: Satisfactory

Humidity levels above 70%RH are known to be optimum conditions for dust mites and mould to grow. The ideal indoor humidity is between 45 to 55%RH and should always be maintained between 40 to 60%RH.

This is for your information only.

8.2 Thermostat

Comments: Satisfactory

8.3 Filter condition

Comments: Satisfactory

Recommend replacement as needed on a regular schedule as recommended by manufacture of filter. General maintenance item.

8.4 Fireplace

Comments: Satisfactory

The gas fireplace requires invasive, technically exhaustive measures that exceed the scope of the General Home Inspection.

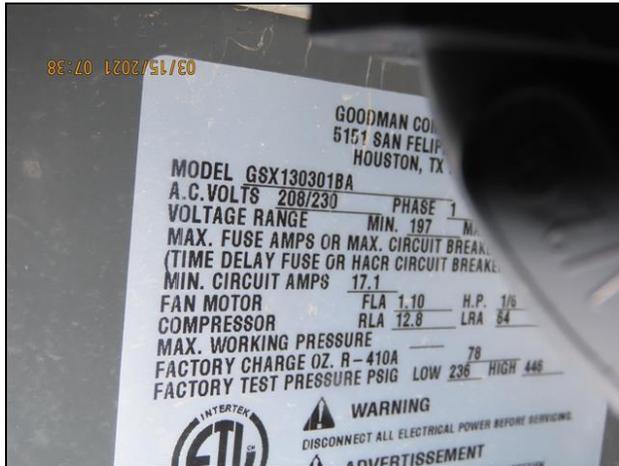
- Recommend service by a qualified contractor on a regular maintenance basis and before your first use. Find a CSIA-certified inspector near you at <http://www.csia.org/search>
- All gas appliances should be maintained annually or as needed.
- The fireplace was controlled by a thermostat located at the main floor hallway, next to furnace thermostat.

8.5 Central Air Conditioner

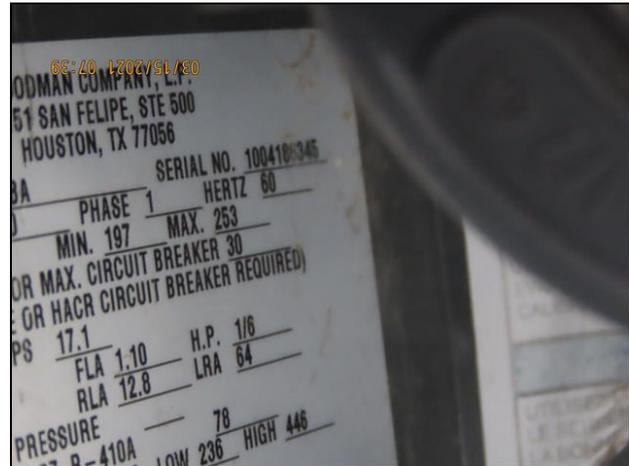
Comments: Not Visible

(1) Proper evaluation of the air conditioning unit may require invasive, technically exhaustive measures that exceed the scope of the General Home Inspection. The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working order before the end of your inspection deadline.

- Determining remaining life span goes beyond the scope of an inspection.
- You may wish to obtain information about home warranties or long term service plans as desired.
- Inspector is not able to determine if parts will be available if repairs are needed.



8.5 Item 1(Picture) model number



8.5 Item 2(Picture) serial number

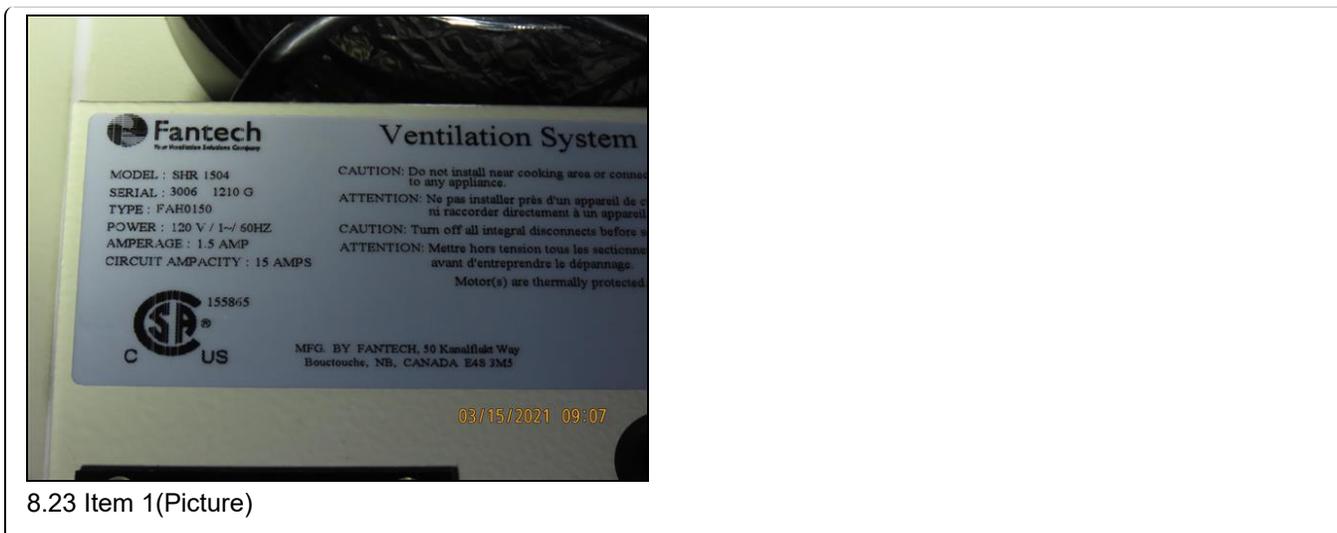
(2) The air-conditioning system was not tested because the outside temperature was below 67 degrees F. and to test it would risk damaging the coils. The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis.

The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis. You may wish to have this component certified before the end of your inspection deadline.

8.23 Misc.

Comments: Satisfactory

- Item 1(Picture) Heat recovery system serial number
- Inspector recommends maintenance per manufacturer's recommendation.



8.23 Item 1(Picture)

Heating system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. For example: identification of cracked heat exchangers requires a contractor evaluation. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor.

9. Attic

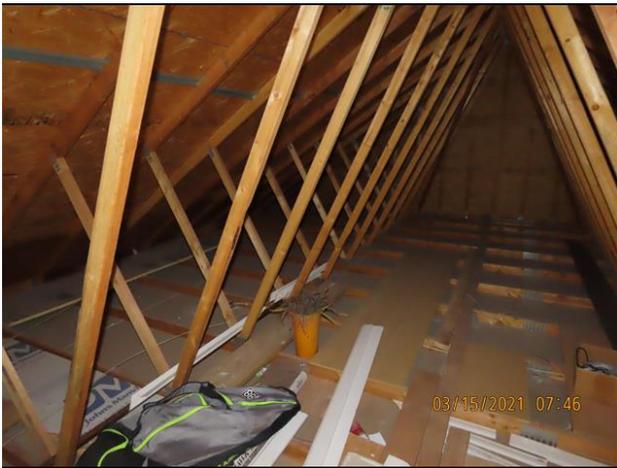
The inspector shall inspect:

- insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
- ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and
- mechanical exhaust systems in the kitchen, bathrooms and laundry area.

The inspector is not required to:

- enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard.
- move, touch or disturb insulation.
- move, touch or disturb vapor retarders.
- break or otherwise damage the surface finish or weather seal on or around access panels or covers.
- identify the composition or R-value of insulation material.
- activate thermostatically operated fans.
- determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring.
- determine the adequacy of ventilation.

◦ Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.



Styles & Materials

Attic inspected from::

Inside the attic

Attic Insulation Material:

Blown-in

Roof Structure Ventilation::

Attic ventilation appeared sufficient

Roof structure ventilation device type::

Not Inspected - Snow Restrictions

Attic free of debris or personal belongings and was accessible:

No - Removal of items needed

Approximate attic thermal insulation depth::

Appears Adequate
Insulation was not distributed evenly

Items

9.0 Attic Access

Comments: Satisfactory

The attic inspection was limited to evaluation from an area near the access hatch. Areas of the attic were not fully visible due to design. Comments are based on visual areas only.

9.1 Roof Framing

Comments: Satisfactory

9.2 Roof Sheathing

Comments: Satisfactory

9.3 Roof Structure Ventilation

Comments: Satisfactory

The Inspector disclaims confirmation of adequate attic ventilation year-round performance, but will comment on the apparent adequacy of the system as experienced by the inspector on the day of the inspection. Attic ventilation is not an exact science and a standard ventilation approach that works well in one type of climate zone may not work well in another. The performance of a standard attic ventilation design system can vary even with different homesite locations and conditions or weather conditions within a single climate zone. The typical approach is to thermally isolate the attic space from the living space by installing some type of thermal insulation on the attic floor. Heat that is radiated into the attic from sunlight shining on the roof is then removed using devices that allow natural air movement to carry hot air to the home exterior. This reduces summer cooling costs and increases comfort levels, and can help prevent roof problems that can develop during the winter such as the forming of ice dams along the roof eaves. Natural air movement is introduced by providing air intake vents low in the attic space and exhaust vents high in the attic space. Thermal buoyancy (the tendency of hot air to rise) causes cool air to flow into the attic to replace hot air flowing out the exhaust vents. Conditions that block ventilation devices, or systems and devices that are poorly designed or installed can reduce the system performance.

9.8 Misc Attic Conditions (leakage, debris, etc.)

Comments: Satisfactory

Seller had personal belongings stored in the attic, recommend asking seller to remove personal items as needed. This is for your information only.

9.9 Attic Thermal Envelope

Comments: Satisfactory

To reduce energy consumption and heating/cooling costs and to improve comfort levels, the inspector recommends insulation be distributed evenly (localized areas). This is a general maintenance item.

- Insulation in areas was moved for personal items.

10. Bathroom(s)

Inspection of the bathrooms typically includes the following:walls, floors and ceiling; sink (basin, faucet, overflow); cabinets (exteriors, doors, drawers, undersink); toilet/bidet tub and shower (valves, showerhead, walls, enclosure); electrical (outlets, lighting); and room ventilation.

Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Bath Vent(s):

Yes

Items

10.0 Bathtub

Comments: Satisfactory

10.1 Toilet

Comments: Satisfactory

10.2 Shower

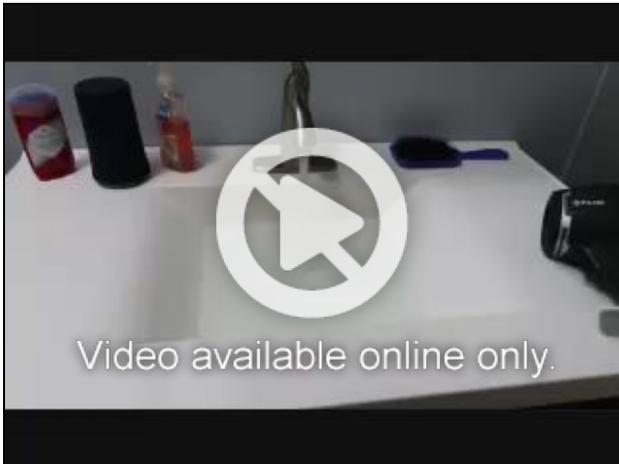
Comments: Satisfactory

10.3 Sink

Comments: Marginal

The basement bathroom sink was slow to drain. Determining exact cause goes beyond the scope of a home inspection. Inspector recommends the sink drain be cleaned, if this is not correct the problem a qualified plumber should further evaluate and correct as needed.

- Item 1(Video)



10.3 Item 1(Video)

10.4 Cabinets & Countertops

Comments: Satisfactory

Cabinets/counter tops exhibited minor general wear commensurate with the age of the home.

- Areas were not visible due to personal belongings. Recommend further evaluation once items have been moved.

10.5 Mortar/Sealant

Comments: Satisfactory

10.6 Ventilation

Comments: Satisfactory

11. Kitchen and Built-in Appliances

The inspector is not required to:

- operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
- Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Inspection of kitchens typically includes (limited) operation and visual inspection of the following: wall, ceiling and floor; windows, skylights and doors; range/cooktop (basic functions, anti-tip); range hood (fan, lights, type); dishwasher; Cabinetry exterior and interior; door and drawer; Sink basin condition; supply valves; adequate trap configuration; functional water flow and drainage; disposal; Electrical switch operation; and outlet placement, grounding, and GFCI protection. **Note: Appliances are operated at the discretion of the Inspector.**

Styles & Materials

Dishwasher::

Present, not inspected

Refrigerator::

Inspected

Refrigerator Ice & Water:

Yes - In working order

Oven/Cooktop:

Inspected

Oven/Cooktop Fuel Source:

Gas - Gas line not visible, not inspected.

Built-in Microwave Brand::

Inspected - satisfactory

Countertop Material::

Composite

Cabinets::

Wood

Venting Type:

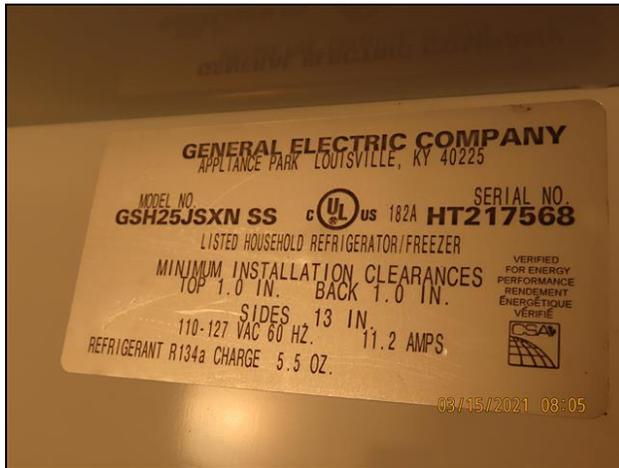
Recirculating (removable filter)

Items

11.0 Refrigerator

Comments: Satisfactory

Item 1(Picture) Serial number



11.0 Item 1(Picture)

11.2 Garbage Disposal

Comments: Satisfactory

11.3 Dishwasher

Comments: Not Visible

(1)

- Item 1(Picture) serial number



11.3 Item 1(Picture)

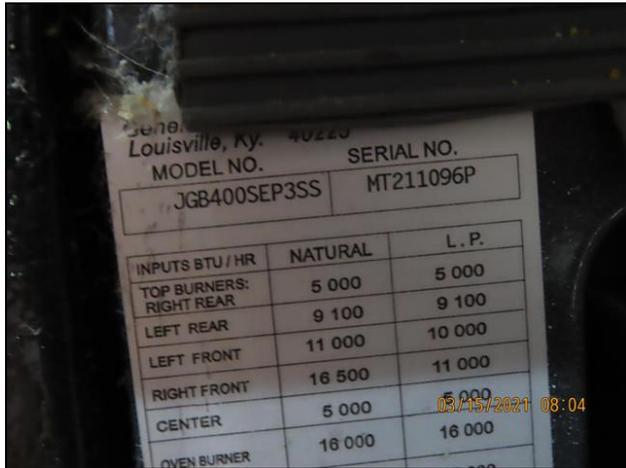
(2) In accordance with the Standards of Practice the dishwasher was not operated. The Inspector disclaims its proper operation. You should ask the seller about its condition.

11.4 Cooktop

Comments: Satisfactory

The General Home Inspection testing of ovens does not include testing of all oven features, but is limited to confirmation of bake and broil features. You should ask the seller about the functionality of any other features.

- All gas appliances should be maintained annually or as needed.



11.4 Item 1(Picture)

11.5 Cabinets and Countertops

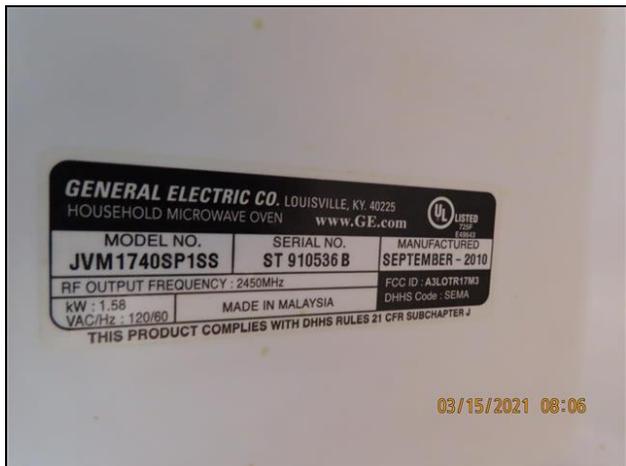
Comments: Satisfactory

Cabinets and counters at the interior of the home exhibited general weathering commensurate with its age.

11.6 Built-in Microwave

Comments: Satisfactory

Item 1(Picture) Serial number



11.6 Item 1(Picture)

11.7 Sink

Comments: Satisfactory

11.8 Ventilation and/or Exhaust

Comments: Satisfactory

The inspector is not required to:

operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

12. Laundry Room

A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. All work should be performed by a qualified contractor.

Inspector recommends further evaluation by a qualified professional or contractor to ensure proper conditions exist. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection deadline.

Styles & Materials

Laundry Room Appliances::

Dryer
Clothes washer

Dryer Power::

Electric

Dryer Vent::

Metal

Dryer 240-volt electrical receptacle::

Modern 4-prong

Laundry Drain Pipe Size:

2"

Items

12.0 Washer and Dryer

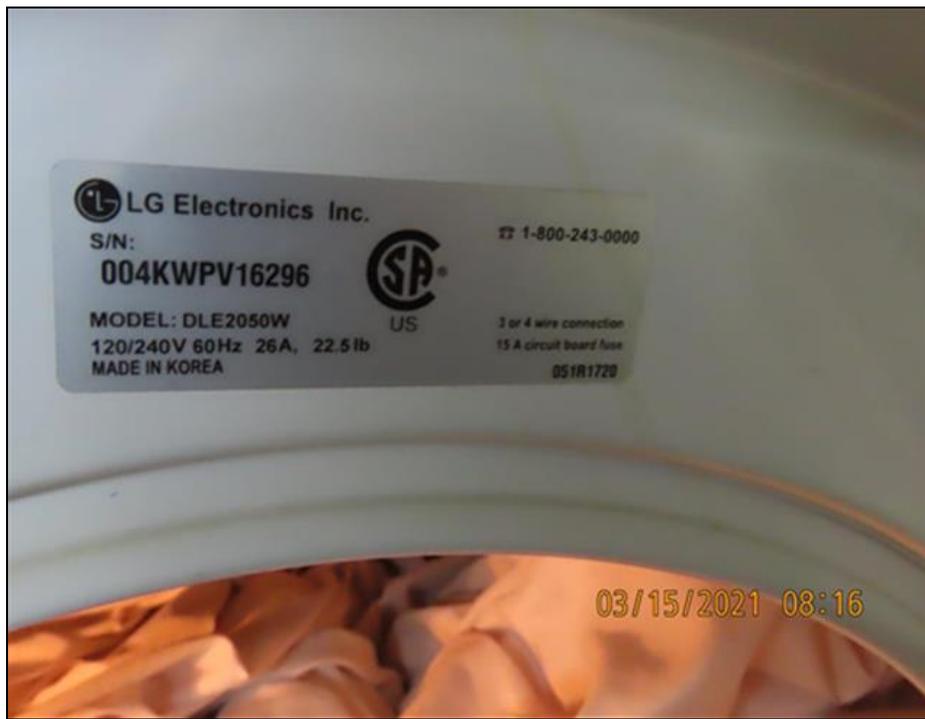
Comments: Not Visible

(1)

- Item 1(Picture) - washing machine serial number
- Item 2(Picture) - dryer serial number



12.0 Item 1(Picture)



12.0 Item 2(Picture)

(2) The washer and dryer were installed at time of inspection. Full inspection of washer and dryer goes beyond the scope of a standard home inspection. You should ask your realtor about home warranties. Inspector disclaims knowledge of their condition(s).

12.1 Receptacles, Switches, Connections

Comments: Satisfactory

The former requirement of 1 1/2-inch pipe is not enough to handle the fast drainage of modern washers. As with all plumbing fixtures and appliances, a washing machine drain pipe must also contain a P-trap. Position the trap between 6 and 18 inches above the floor, with a standpipe of 18 to 30 inches above that.

- The homes waste line was 1.5" and may not meet modern standards. You may wish to obtain further information about this finding by a qualified plumber or appliance technician.

12.2 Dryer Venting

Comments: Not Visible

A dryer vent connection was installed in the laundry room. Although the Inspector operated the dryer briefly, the dryer vent was examined visually only. A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. All work should be performed by a qualified contractor.

14. Home Warranty Information

Items

14.0 Internachi's Buy Back Guarantee

<https://www.nachi.org/buyback-guarantees/verify/BB10IQ-1WW-WQNE3R>

15. Appliance Life Expectancy in Years

Items

15.0 Approximate Life Span of Component(s)

Keep in mind that the life expectancy listed below is a general guideline only. The make, model and brand and maintenance schedule may alter the overall life span.

Appliance	Life Expectancy in Years
• Air-Conditioner Compressor	12-15
• Asphalt, Wood Shingles/Shakes	15-40
• Asphalt Composition Shingles	15-40
• Asphalt Driveways	8-12
• Baseboard Heating Systems	15-25
• Boilers, Hot-Water or Steam	25-35
• Brick and Concrete Patios	15-25
• Brick and Stone Walls	100+
• Built-Up Roofing, Asphalt	10-26
• Central Air-Conditioning Unit	12-15
• Concrete Block foundations	100+
• Concrete Walks	10-20
• Dishwashers	8-8
• Dryers	8-14
• Electric Ranges	14-18
• Electric Water Heaters	5-12
• Exhaust Fans	5-10
• Faucets	10-15
• Fences	10-15
• Floor Tile	30-40+
• Force-Air Furnaces, Heat Pumps	12-18
• Freezers, Standard	10-20

• Furnaces, Gas and Oil	15-20
• Garage Door Openers	8-12
• Garage Doors	20-25
• Garbage Disposals	8-10
• Gas Ovens	10-18
• Gas Ranges	12-20
• Gas Water Heaters	6-12
• Gravel walk	4-6
• Gutters & Downspouts	25-30
• Furnace Heat Exchanger	10-15
• Humidifiers	5-7
• Microwave Ovens	9-13
• Poured Concrete Foundations	100+
• Pumps, Sump & Well	5-12
• Refrigerators	10-18
• Rooftop Air Conditioners	14-18
• Sheet Metal	20-50
• Siding, Aluminum	20-40
• Siding, Steel	30-50
• Siding, Vinyl	30-45
• Siding, Wood	12-100
• Sinks, China	15-20
• Sinks, Enamel-Coated Cast Iron	20-30
• Sinks, Enamel-Coated Steel	5-10
• Slate Roof Tiles	40-100
• Smoke Detectors	5-10
• Sprinkler Systems	10-14
• Stucco	20-40+

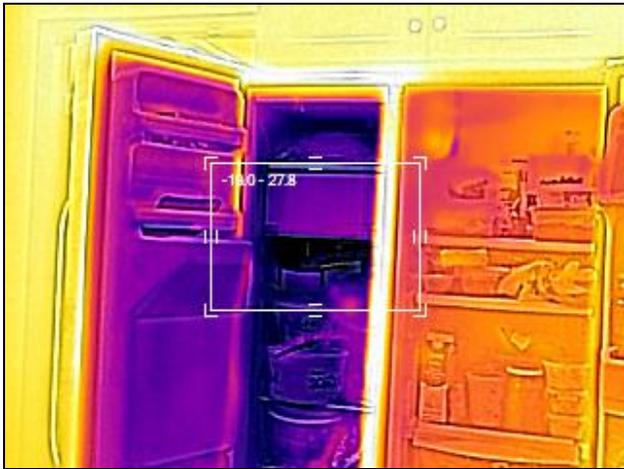
• Swimming Pools	10-20
• Termite-Proofing	5-7
• Trash Compactors	6-10
• Tile	30-40+
• Washers, Clothes	12-16
• Waste Piping, Cast-Iron	50-100
• Window A/C Units	5-8
• Wooden Decks	12-20

16. FLIR Thermal Images

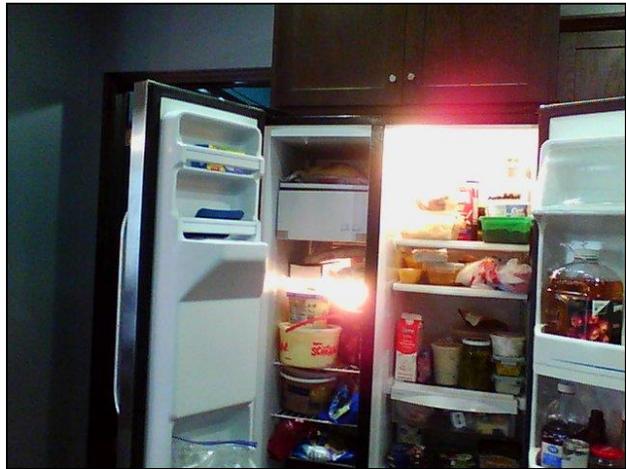
Items

16.0 FLIR Thermal Imaging

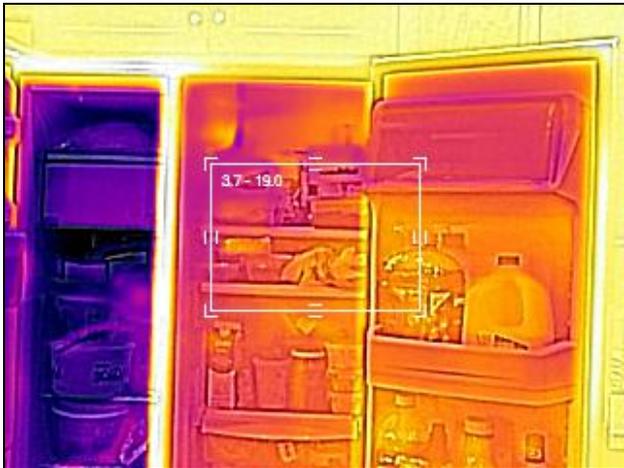
- Item 5(Picture) Item 17(Picture) Water heater appeared to be in working order at time of inspection
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- Item 11(Picture) inspector recommends installation in the attic, near the attic access entry, be properly distributed to increase energy efficiency. This is a general maintenance item



16.0 Item 1(Picture)



16.0 Item 2(Picture)



16.0 Item 3(Picture)



16.0 Item 4(Picture)



16.0 Item 5(Picture)



16.0 Item 6(Picture)



16.0 Item 7(Picture)



16.0 Item 8(Picture)



16.0 Item 9(Picture)



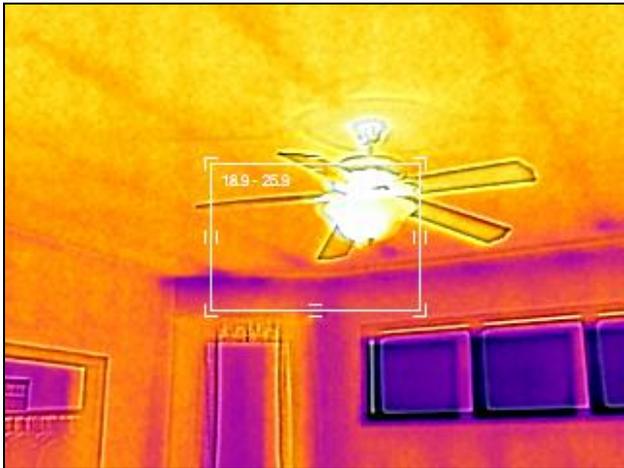
16.0 Item 10(Picture)



16.0 Item 11(Picture)



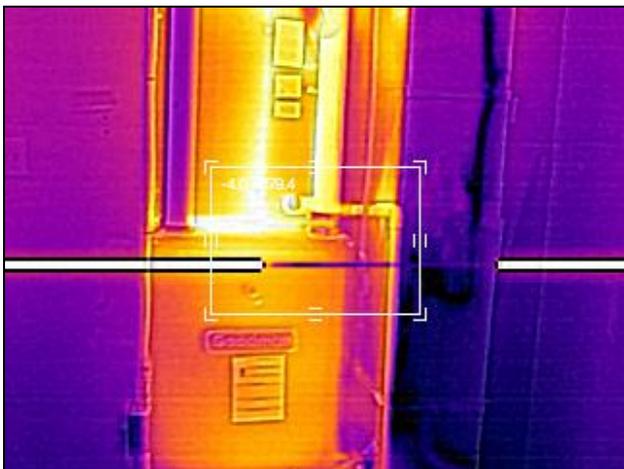
16.0 Item 12(Picture)



16.0 Item 13(Picture)



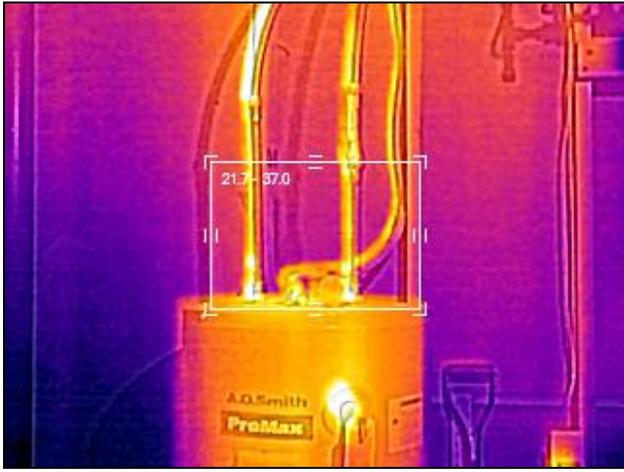
16.0 Item 14(Picture)



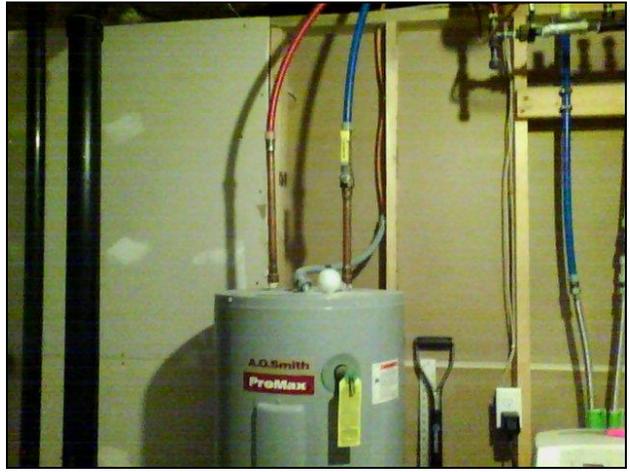
16.0 Item 15(Picture)



16.0 Item 16(Picture)



16.0 Item 17(Picture)



16.0 Item 18(Picture)

General Summary

Closer Look Home Inspectors, L.L.C.

Customer
Sample Report

Address
Your Address
MN

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

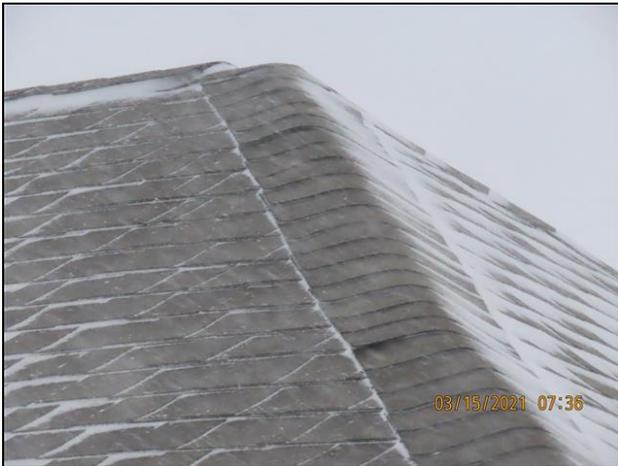
1. Roof

1.0 Asphalt Composition Shingle

General Maintenance Item

(2) At time of inspection, most if not all of the shingles at roof were covered with snow. Removing snow from roof goes beyond the scope of an inspection. Recommend further evaluation once snow covering has melted. Inspector disclaims knowledge of the shingles condition.

- Inspector observed what appeared to be to lifted shingles at the rear of home. Inspector recommends further evaluation once snow melts. This is indication maintenance or repairs may be needed in areas.
- Ensuring shingles are in proper condition will reduce chance of future moisture.



1.0 Item 1(Picture)

1.1 Roof Structure Exterior

Not Visible

Not visible, snow restrictions, recommend further evaluation once snow melts.

1.2 Roof Flashing

Not Visible

Not visible, snow restrictions, recommend further evaluation once snow melts.

1.3 Roof Drainage System

Not Visible

Not fully visible, snow restrictions, recommend further evaluation once snow melts.

1.4 Exhaust & Combustion Vents**Not Visible**

Not visible, snow restrictions, recommend further evaluation once snow melts.

2. Exterior

2.4 Deck and/or Stairs**Not Visible**

Due to height limitations or barrier installation, the Inspector was unable to view the means of attaching the stairs to the home (rear of home) and disclaims responsibility for its inspection.

- Snow restrictions.

2.6 Driveway**Not Visible**

Ice/snow covered nearly all of the driveway. If common cracks (1/4-inch or less) are visible in the driveway once snow melts, they should be filled with an appropriate sealant as needed.

2.8 General Grounds**Not Visible**

The ground should slope away from the home a minimum of 1/4-inch per foot for a distance of at least six feet from the foundation.

- Snow restrictions, not able to determine if negative slope exists. Monitor for pooling water during heavy rain fall.

3. Garage

3.3 Conventional Doors**Not Visible**

Conventional garage doors were not opened/closed or fully inspected due to personal belongings. Moving personal belongings goes beyond the scope of a home inspection.

5. Structural Components

5.0 Exterior Wall Construction**Satisfactory, Not Visible**

Due to snow restrictions, areas of the exterior foundation wall were not visible. Small cracks 1/8 inch or less should be properly sealed to reduce chance of future freeze cracking. If cracks exceed 1/8 inch further evaluation is recommended by a qualified contractor.

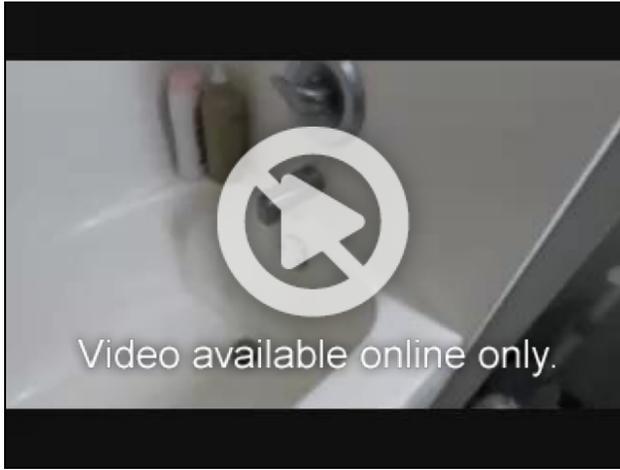
6. Plumbing System

6.2 Water Supply, Distribution**Marginal**

Inspector observed what appeared to be low water pressure when multiple water sources were used simultaneously.

- When the upstairs master bathroom jet tub water source was turned ON.

Determining exact cause goes beyond the scope of a home inspection. You may wish to have a qualified plumber further evaluate as desired.



6.2 Item 1 (Video) upstairs hallway bathroom bathtub



6.2 Item 2 (Picture) upstairs master bathroom sink - low water pressure when master bathroom jet tub water source was turned ON.

6.3 Water Heater

Unsatisfactory

(2) The temperature/pressure relief (TPR) valve had no discharge pipe installed. If the valve were to activate while a person was nearby, injury could occur. The Inspector recommends that a properly-configured TPR discharge pipe be installed by a qualified plumbing contractor. **THE TPR VALVE SHOULD NOT BE TESTED UNTIL A PROPER DISCHARGE PIPE HAS BEEN INSTALLED.**



6.3 Item 2 (Picture)

6.5 Water Treatment Systems

Not Visible

(1) We do not inspect water treatment systems or water softeners.

6.7 Sewage and DWV Systems

Not Visible

(1) **This system was not inspected and inspector disclaims knowledge. You should ask your insurance agent for costs to ensure the sewer line. You may wish to have it scoped to ensure its condition before the end of your inspection deadline.**

(2) The main waste supply pipe appeared to be located at the basement wall, behind access cover.

- The PVC cap appeared to be sealed shut with foam insulation. Inspector recommends ensuring the cap is accessible as needed. This is a general maintenance item. Replacement caps can be purchased for under \$10 if needed.



6.7 Item 1(Picture)

7. Electrical System

7.29 Low Voltage Components

Not Visible

- Item 1(Picture) You may wish to ask seller about low-voltage/data communications systems. Inspector is not able to determine if these components will be sold with the house or taken with the seller.
- Item 2(Picture) you may wish to ask seller if the audio system will be sold with the home or taken with the seller.



7.29 Item 1(Picture)



7.29 Item 2(Picture)

8. Heating & Air Conditioning

8.5 Central Air Conditioner

Not Visible

(2) The air-conditioning system was not tested because the outside temperature was below 67 degrees F. and to test it would risk damaging the coils. The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis.

The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis. You may wish to have this component certified before the end of your inspection deadline.

9. Attic

9.8 Misc Attic Conditions (leakage, debris, etc.)

Satisfactory

Seller had personal belongings stored in the attic, recommend asking seller to remove personal items as needed. This is for your information only.

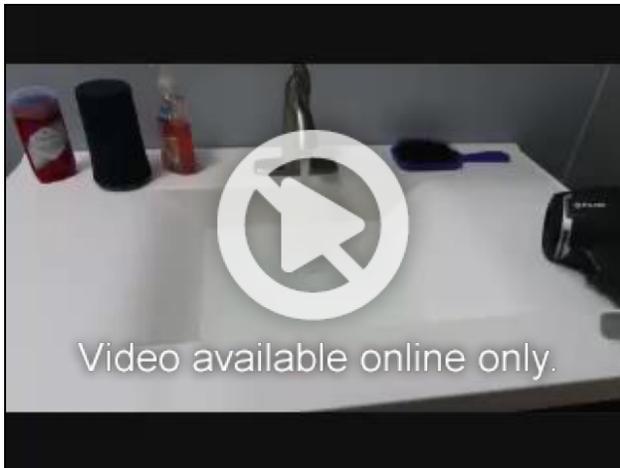
10. Bathroom(s)

10.3 Sink

Marginal

The basement bathroom sink was slow to drain. Determining exact cause goes beyond the scope of a home inspection. Inspector recommends the sink drain be cleaned, if this is not correct the problem a qualified plumber should further evaluate and correct as needed.

- Item 1(Video)



10.3 Item 1(Video)

11. Kitchen and Built-in Appliances

11.3 Dishwasher

Not Visible

(2) In accordance with the Standards of Practice the dishwasher was not operated. The Inspector disclaims its proper operation. You should ask the seller about its condition.

12. Laundry Room

12.0 Washer and Dryer

Not Visible

(2) The washer and dryer were installed at time of inspection. Full inspection of washer and dryer goes beyond the scope of a standard home inspection. You should ask your realtor about home warranties. Inspector disclaims knowledge of their condition(s).

12.2 Dryer Venting

Not Visible

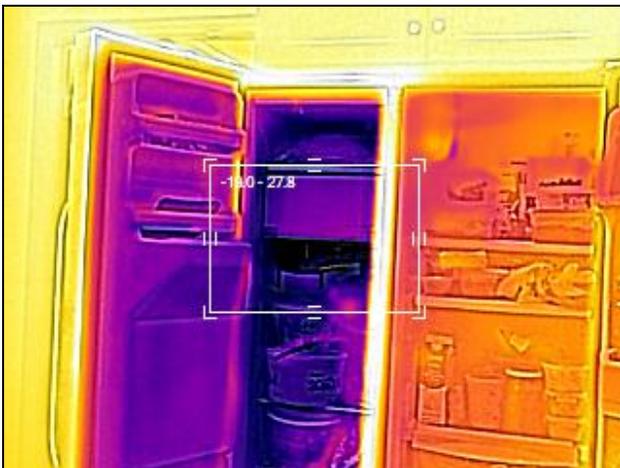
A dryer vent connection was installed in the laundry room. Although the Inspector operated the dryer briefly, the dryer vent was examined visually only. A visual examination will not detect the presence of lint accumulated inside the vent,

which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. All work should be performed by a qualified contractor.

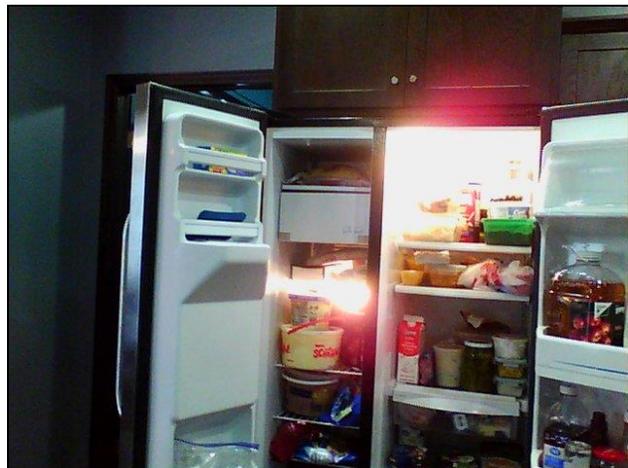
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16.0 Item 1(Picture)



16.0 Item 2(Picture)



16.0 Item 3(Picture)



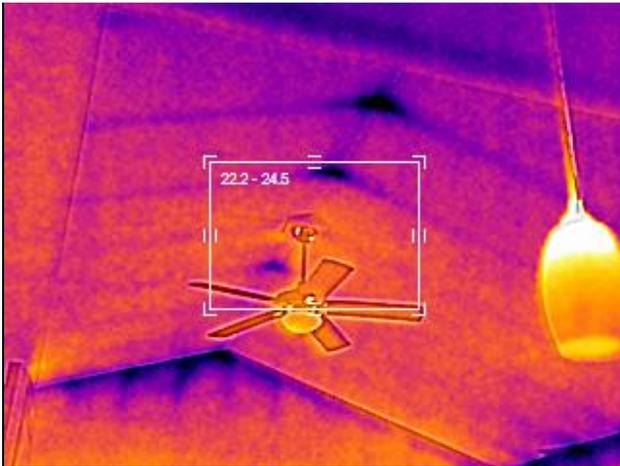
16.0 Item 4(Picture)



16.0 Item 5(Picture)



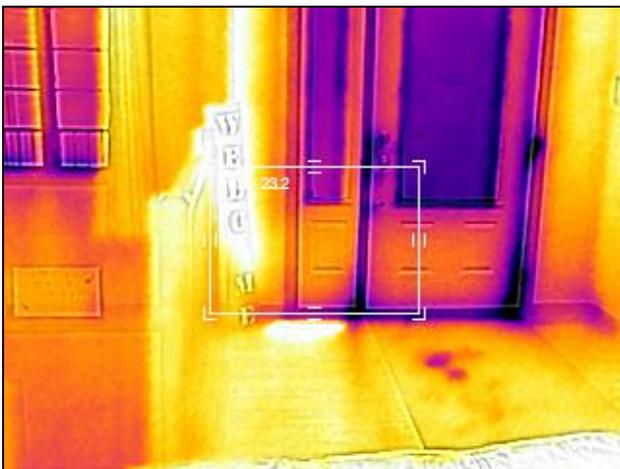
16.0 Item 6(Picture)



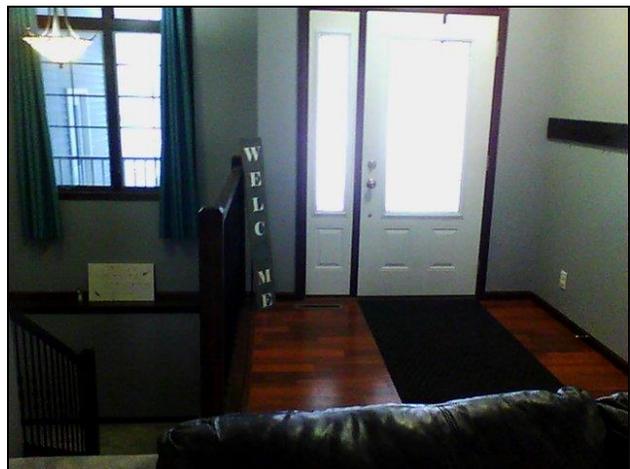
16.0 Item 7(Picture)



16.0 Item 8(Picture)



16.0 Item 9(Picture)



16.0 Item 10(Picture)



16.0 Item 11(Picture)



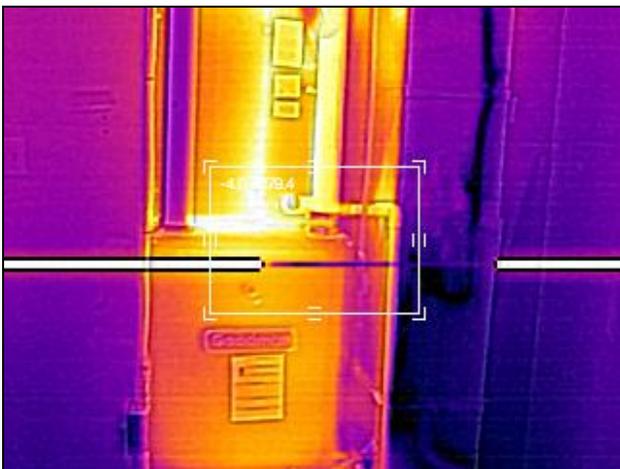
16.0 Item 12(Picture)



16.0 Item 13(Picture)



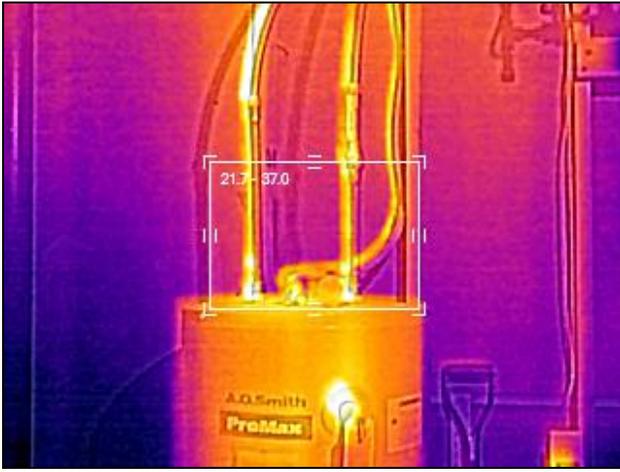
16.0 Item 14(Picture)



16.0 Item 15(Picture)



16.0 Item 16(Picture)



16.0 Item 17(Picture)



16.0 Item 18(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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